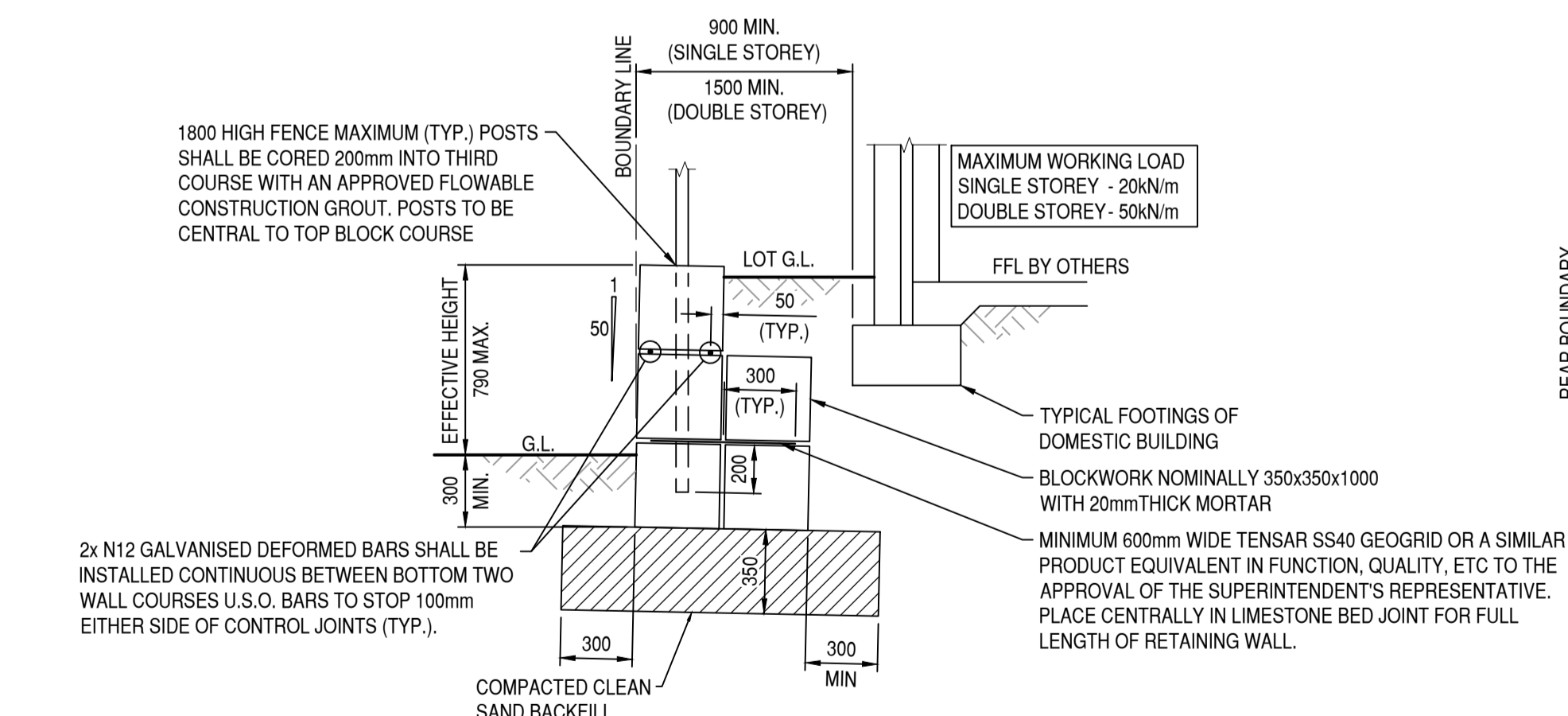
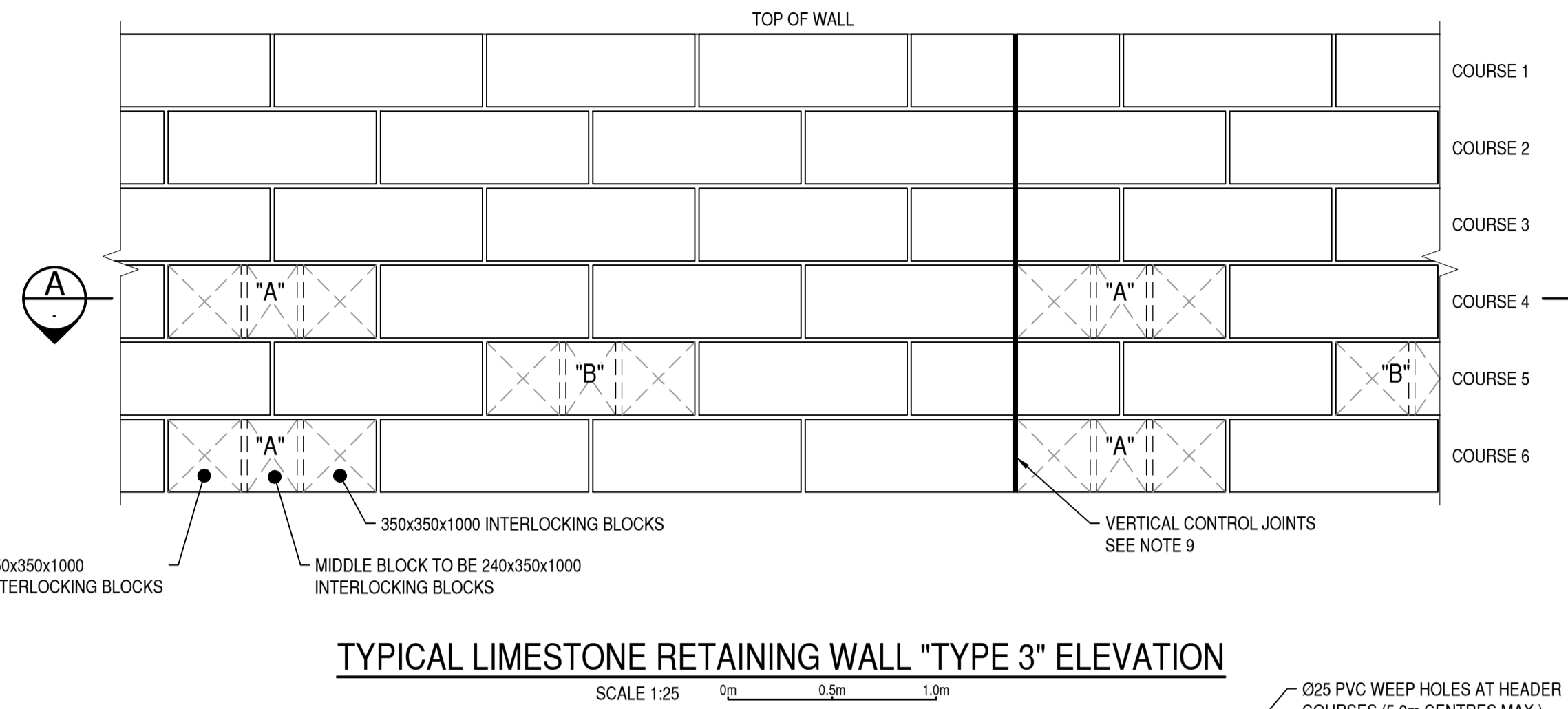


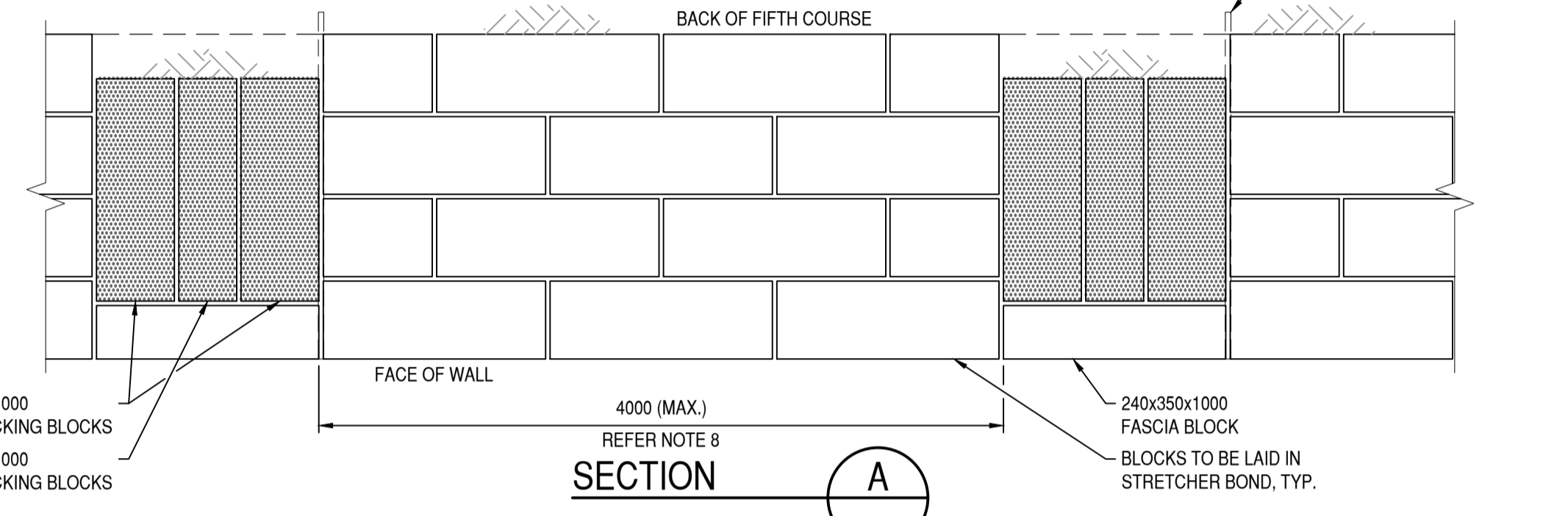
TYPICAL LIMESTONE RETAINING WALL DETAIL - TYPE 3 - CLASS "S"
SCALE 1:25



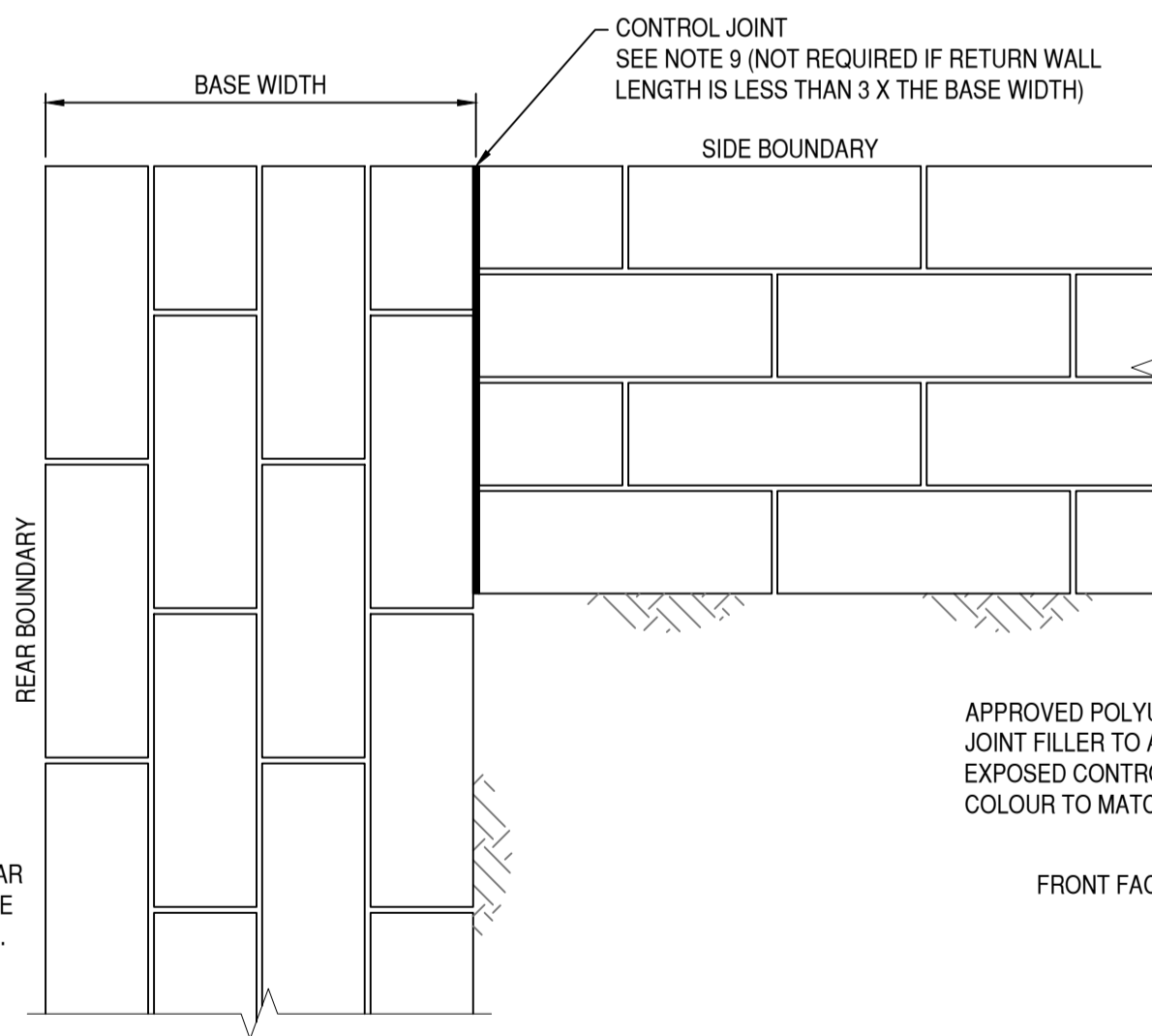
TYPICAL LIMESTONE RETAINING WALL DETAIL - TYPE 2 - CLASS "S"
SCALE 1:25



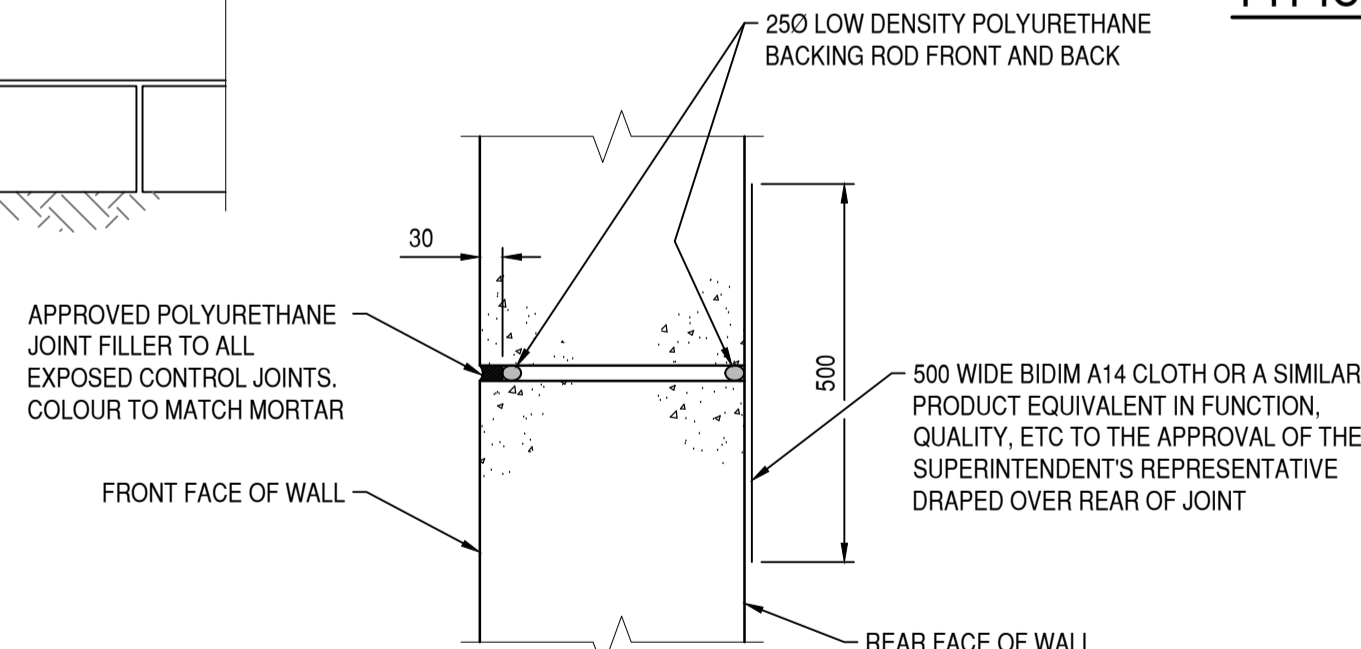
TYPICAL LIMESTONE RETAINING WALL "TYPE 3" ELEVATION
SCALE 1:25



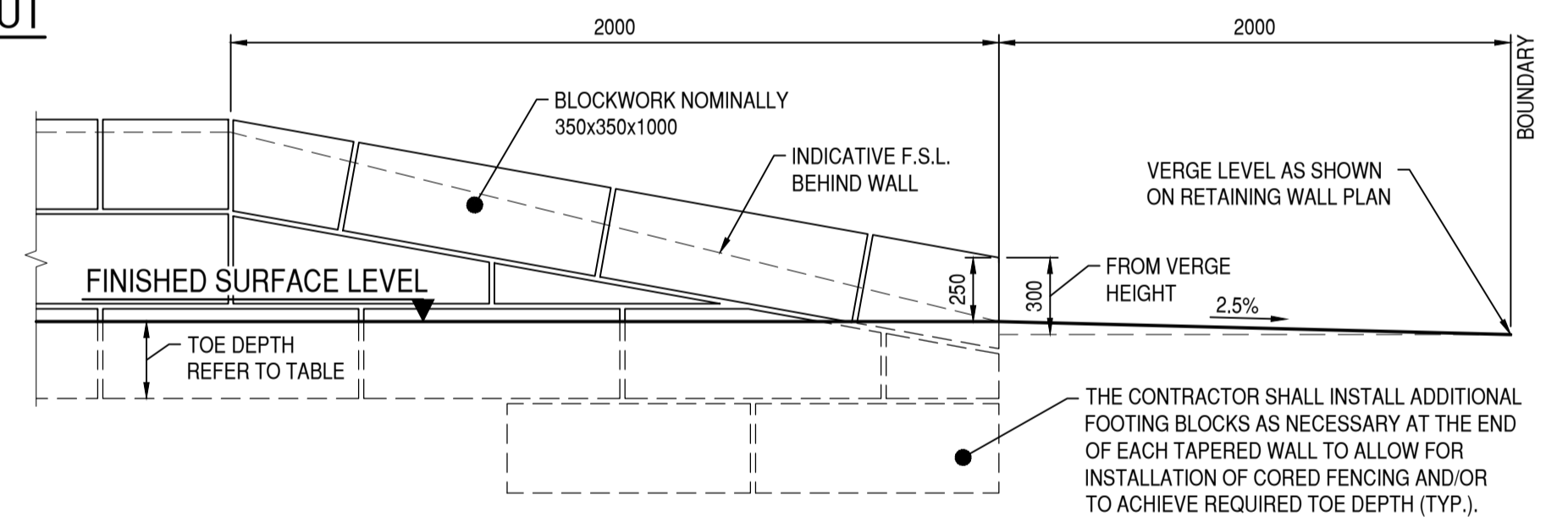
TYPICAL LIMESTONE RETAINING WALL HEADER LAYOUT
SCALE 1:25



PLAN VIEW OF CORNER CONTROL JOINT LOCATION
SCALE 1:25



VERTICAL CONTROL JOINT DETAIL
SCALE 1:10



TYPICAL LIMESTONE RETAINING WALL FRONT TAPER TO SIDE BOUNDARY DETAIL
SCALE 1:25

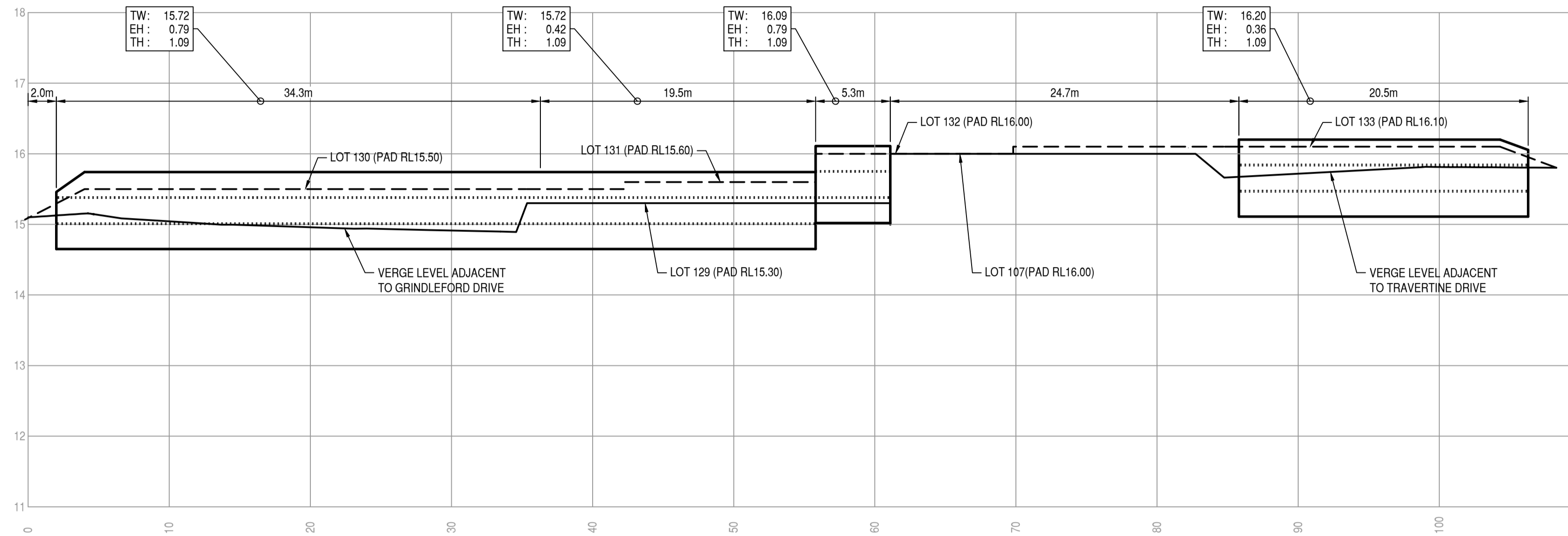
LIMESTONE RETAINING WALL AND FENCE NOTES

1. COMPACT GROUND UNDER FOOTING TO RESIST 8 BLOWS PER 300mm OF A STANDARD 16mm DIA PENETROMETER OVER A DEPTH OF 600mm
2. LIMESTONE BLOCKS TO BE A MINIMUM DENSITY OF 1500kg/m³ (DRY). RECONSTITUTED LIMESTONE BLOCKS TO BE A MINIMUM DENSITY OF 1800kg/m³ (DRY).
3. MORTAR MIX SHALL COMPRISE 1 PART WHITE CEMENT, 1 PART LIME PUTTY, AND 6 PARTS CLEAN YELLOW SAND OR 1 PART WHITE CEMENT, 0.5 PART LIME PUTTY AND 4.5 PARTS YELLOW SAND IF LESS THAN 1km FROM THE COAST. ALL BLOCK WORK SHALL BE FULLY MORTARED TO ADJACENT BLOCKS.
4. THESE WALLS ARE APPLICABLE FOR CLASS 'S' CONDITIONS ONLY TO AS 2870. ALL OTHER CONDITIONS TO BE REFERRED TO ENGINEER.
5. ALL RETAINING WALLS HAVE BEEN CALCULATED WITH A HORIZONTAL BACKFILL. ANY OTHER CIRCUMSTANCES TO BE ASSESSED INDIVIDUALLY.
6. THE RETAINING WALL HAS BEEN DESIGNED TO SUPPORT A 5kPa SURCHARGE.
7. INTERLOCKING BLOCK COURSING TO BE STAGGERED AS PER TYPICAL DETAIL.
8. WALL TO HAVE INTERLOCKING BLOCKS COMMENCING AT 4th COURSE FROM TOP, PERPENDICULAR TO FACING AT MAXIMUM 4m SPACING TO ACHIEVE INTERLOCK OF STRUCTURE.
9. WALLS SHALL HAVE VERTICAL CONTROL JOINTS AT INTERVALS OF NO MORE THAN 6 METRES FOR TYPE 1 WALLS, 7 METRES FOR TYPE 2 AND 3 WALLS, PREFERABLY LOCATED AT PROPERTY BOUNDARIES. JOINTS REQUIRED ALSO ON CORNERS AS PER ATTACHED DETAIL. JOINTS SHALL BE 20mm WIDE, BE FILLED WITH A 25mm CLOSED CELL FOAM AND SEALED WITH AN APPROVED POLYURETHANE JOINT FILLER.
10. NO BACKFILLING UNTIL 7 DAYS AFTER WALLS HAVE BEEN BUILT. COMPACT USING LIGHT EQUIPMENT TO DISTANCE BACK FROM THE FACE OF WALL EQUAL TO THE EFFECTIVE HEIGHT.
11. FENCE TO BE PROPRIETARY SYSTEM BY OTHERS - WALL DESIGNED FOR WIND REGION A ONLY.
12. FENCE POSTS SHALL BE AT 2400mm MAXIMUM CENTRES.
13. A NON SACRIFICIAL ANTI GRAFFITI COATING IS TO BE APPLIED TO WALLS FACING A ROAD, P.A.W. OR P.O.S.
14. WEEP HOLES TO BE CONSTRUCTED IN WALLS WHERE FOOTINGS ARE IN CLAY, ROCK, CAPSTONE OR LESS THAN 600mm OF SAND AND/OR IN AREAS OF HIGH GROUND WATER (TYP.).

WALL TYPE "3"

COURSES	TOTAL HEIGHT	EFFECTIVE HEIGHT RANGE	BASE WIDTH	MIN. TOE DEPTH
4	1460	790 - 1110	1090	350
5	1830	1111 - 1480	1460	350
6	2200	1481 - 1850	1460	350
7	2570	1851 - 2170	1830	400
8	2940	2171 - 2540	2200	400
9	3310	2541 - 2810	2200	500
10	3680	2811 - 3180	2570	500
11	4050	3181 - 3550	2940	500

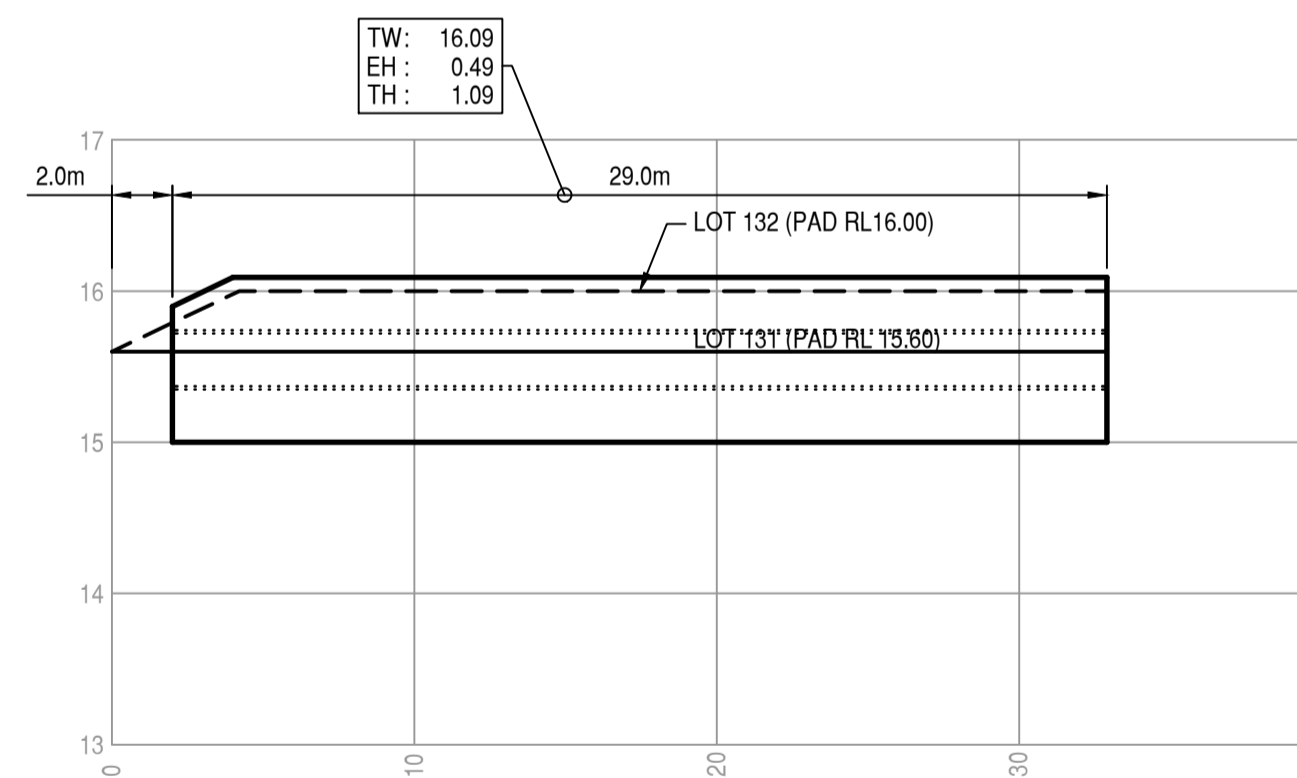
REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
2	21/06/22	ISSUED FOR CONSTRUCTION	GL	CC					
1	22/04/22	RE-ISSUED FOR APPROVAL	JS	CC					
0	23/11/21	ISSUED FOR TENDER	DL	MRi					



PROFILE - RETAINING WALL 4
 HOR. SCALE 1:250
 VER. SCALE 1:50

LEGEND

- RETAINING WALL TOP AND BOTTOM
- RETAINING WALL BLOCK COURSE
- FINISHED SURFACE LEVEL (ALONG FACE OF WALL)
- FINISHED SURFACE LEVEL (HIGH SIDE)
- - - - - EXISTING SURFACE LEVEL WHERE RELEVANT



PROFILE - RETAINING WALL 5
 HOR. SCALE 1:250
 VER. SCALE 1:50

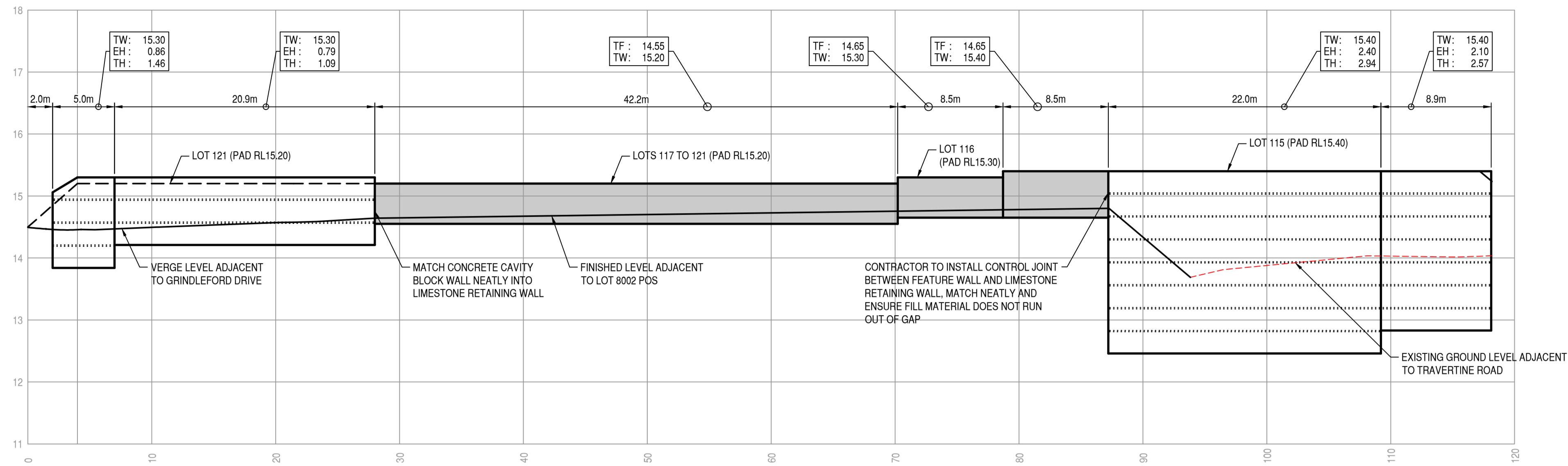


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DRAWING STATUS			
NOT FOR CONSTRUCTION			
DATE	AUGUST 2022	GRD	PCG94
		CHECKED	DATUM
DESIGNED	DL	CC	AHD
JS			
APPROVED	MRI		
SCALE 1:ND	AS SHOWN @		
159641			

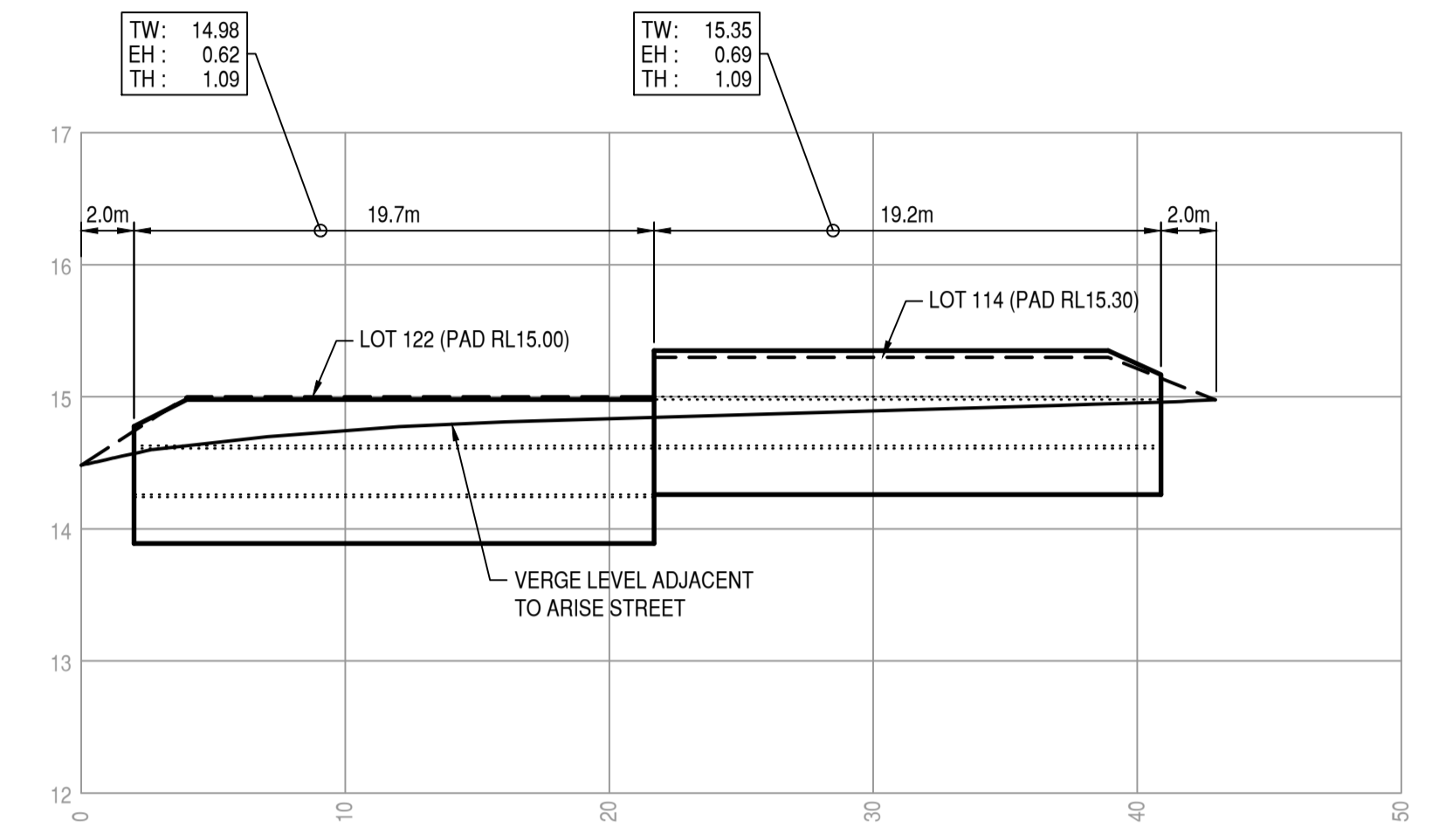
CLIENT & JOB	PARCEL PROPERTY - MOSAIC LOT 30 & 109 GRINDLEFORD DRIVE
TITLE	RETAINING WALL PROFILE RETAINING WALL 4 & 5
SHEET SIZE	A1
FIG. No.	15029-C1-RW-303
REVISION	A

REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
A	3/08/22	FOR DEVELOPMENT APPLICATION	DL	CC					



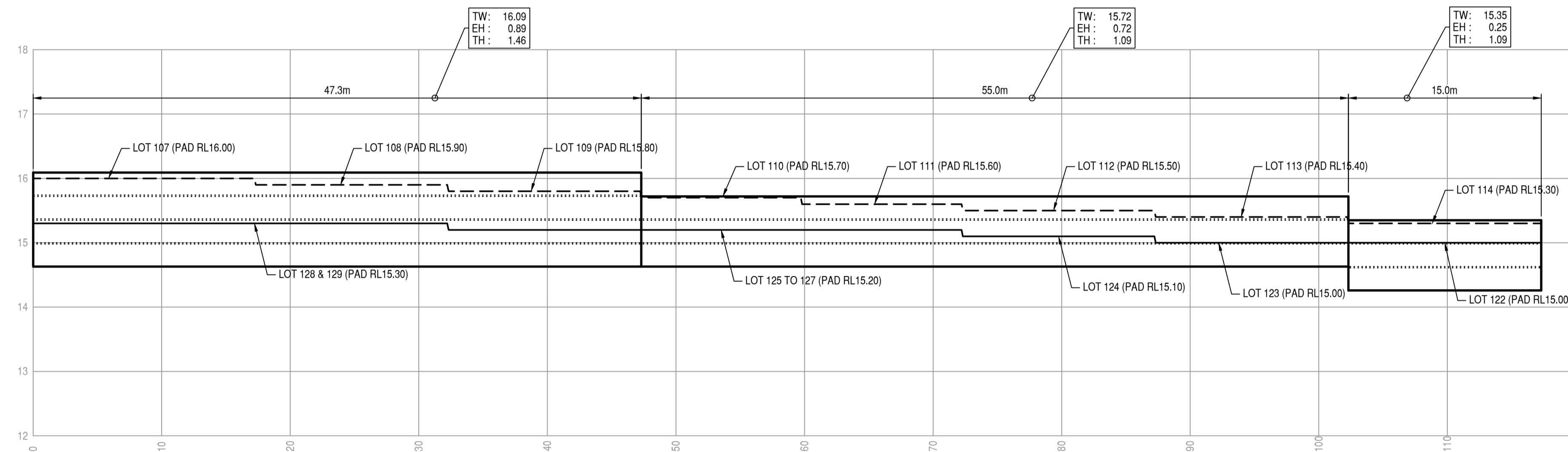
PROFILE - RETAINING WALL 1

HOR. SCALE 1:250
VER. SCALE 1:50



PROFILE - RETAINING WALL 2

HOR. SCALE 1:250
VER. SCALE 1:50



PROFILE - RETAINING WALL 3

HOR. SCALE 1:250
VER. SCALE 1:50

LEGEND

- RETAINING WALL TOP AND BOTTOM
- RETAINING WALL BLOCK COURSE
- FINISHED SURFACE LEVEL (ALONG FACE OF WALL)
- FINISHED SURFACE LEVEL (HIGH SIDE)
- - - - - EXISTING SURFACE LEVEL WHERE RELEVANT

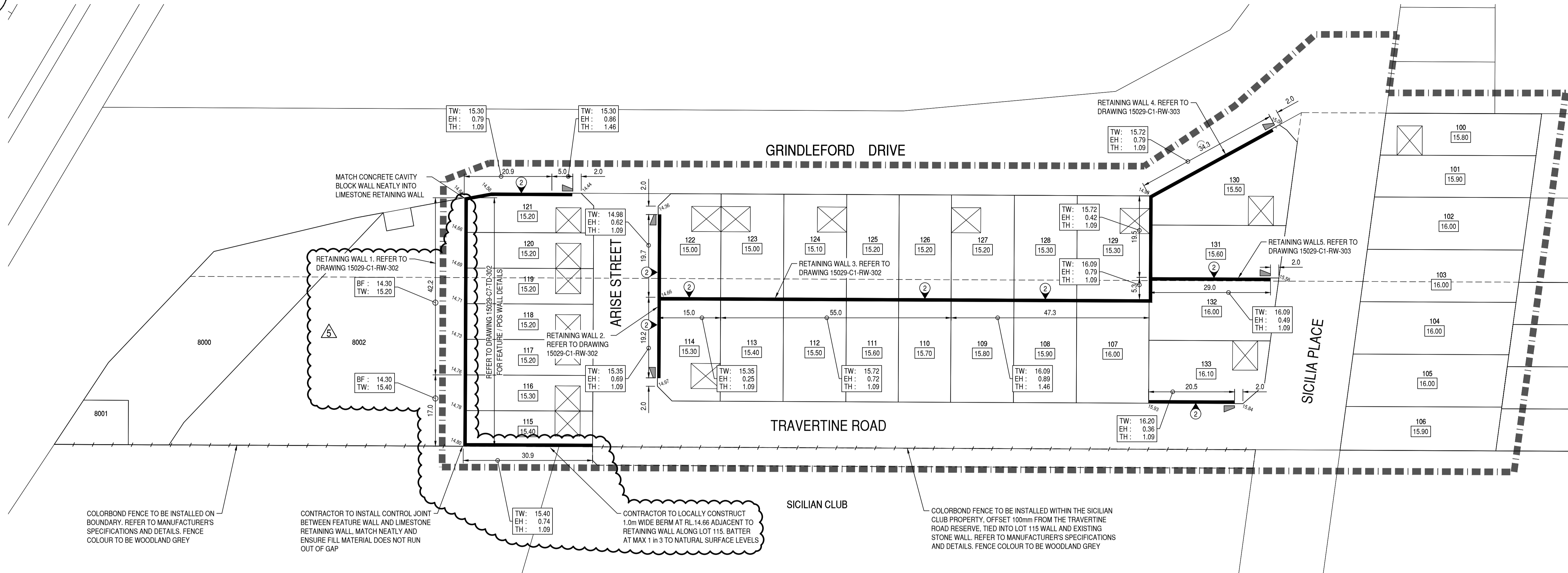
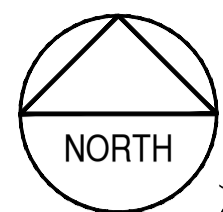


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DRAWING STATUS			
NOT FOR CONSTRUCTION			
DATE	GRD	DATUM	
AUGUST 2022	PCG94	AHD	
DESIGNED	DRAWN	CHECKED	APPROVED
JS	DL	CC	CC
SCALE 1:100	SCALE 1:100		
159641	AS SHOWN @		

CLIENT & JOB	PARCEL PROPERTY - MOSAIC LOT 30 & 109 GRINDLEFORD DRIVE
TITLE	RETAINING WALL PROFILE RETAINING WALL 1, 2 & 3
SHEET NO.	A1
DRG No.	15029-C1-RW-302
REVISION	A

REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
A	3/08/22	FOR DEVELOPMENT APPLICATION	DL	CC					



COLORBOND FENCE TO BE INSTALLED ON BOUNDARY. REFER TO MANUFACTURER'S SPECIFICATIONS AND DETAILS. FENCE COLOUR TO BE WOOLAND GREY

CONTRACTOR TO INSTALL CONTROL JOINT BETWEEN FEATURE WALL AND LIMESTONE RETAINING WALL. MATCH NEATLY AND ENSURE FILL MATERIAL DOES NOT RUN OUT OF GAP

CONTRACTOR TO LOCALLY CONSTRUCT 1.0m WIDE BERM AT RL 14.66 ADJACENT TO RETAINING WALL ALONG LOT 115. BATTER AT MAX 1 in 3 TO NATURAL SURFACE LEVELS

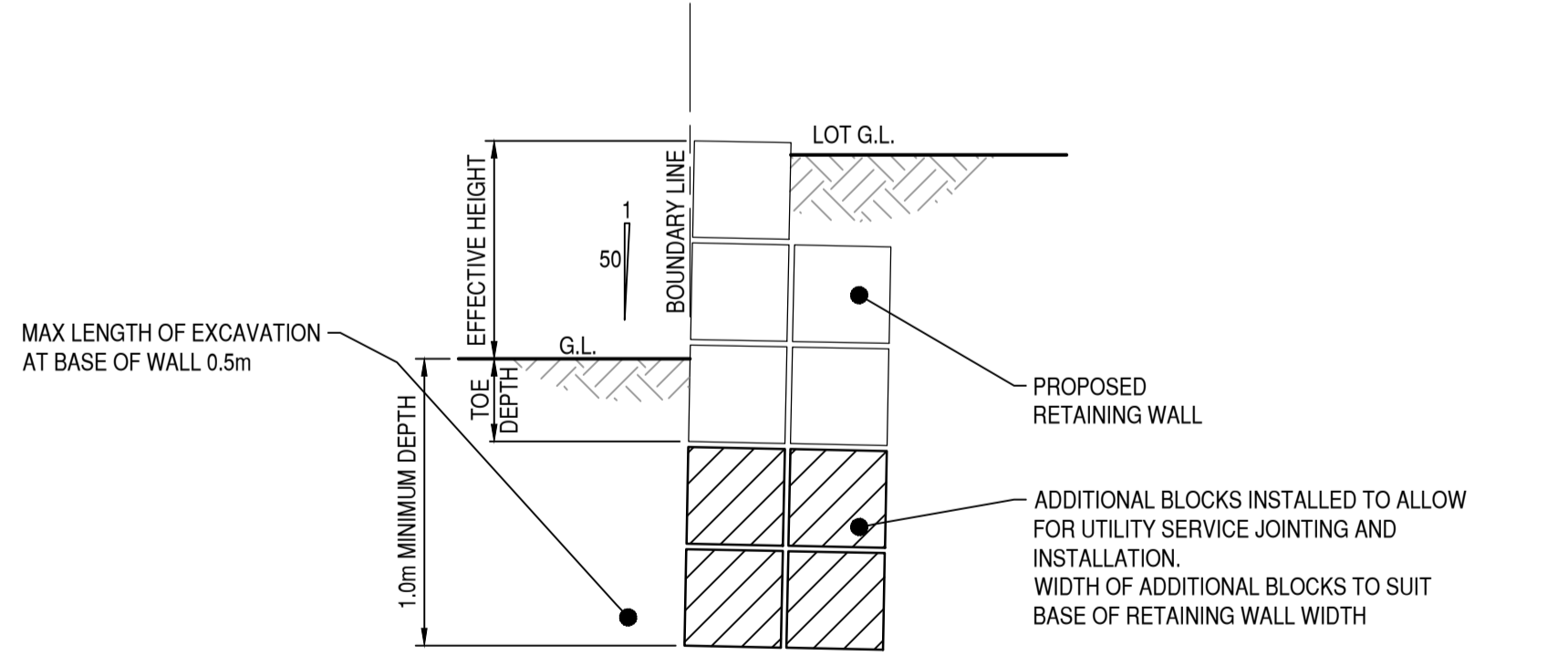
COLORBOND FENCE TO BE INSTALLED WITHIN THE SICILIAN CLUB PROPERTY, OFFSET 100mm FROM THE TRAVERTINE ROAD RESERVE. TIED INTO LOT 115 WALL AND EXISTING STONE WALL. REFER TO MANUFACTURER'S SPECIFICATIONS AND DETAILS. FENCE COLOUR TO BE WOOLAND GREY

NOTES

- ALL DIMENSIONS SHOWN ARE IN METRES U.S.O.
- ALL CO-ORDINATES AND LEVELS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT WITHIN SEVEN DAYS.
- ALL HEIGHTS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) AND ALL LEVELS SHALL BE DERIVED FROM ESTABLISHED BENCHMARKS.
- ALL BENCHMARKS ARE TO BE PROTECTED AND PRESERVED UNLESS NOTED ON PLANS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND ALSO THE REQUIREMENTS OF THE CITY OF STIRLING.
- DUST SUPPRESSION METHODS SHALL BE APPLIED BY THE CONTRACTOR DURING OPERATIONS IN ACCORDANCE WITH THE DUST MANAGEMENT PLAN.
- ALL FOOTINGS, SHALL BE COMPACTED TO 95% OF THE MODIFIED MAXIMUM DRY DENSITY (M.M.D.) TO A DEPTH OF 750mm WHEN TESTED IN ACCORDANCE WITH AS 1289 5.2.1. ANY REGIONS OF THE FOUNDATION DEEMED UNACCEPTABLE BY THE SUPERINTENDENT SHALL BE REPLACED WITH CLEAN FILL TO THE NECESSARY STANDARD.
- ALL BACK FILL SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 300mm THICKNESS AND COMPACTED TO A DENSITY NOT LESS THAN 95% M.M.D.
- CONTRACTOR TO INSTALL A TWO STRAND STAR PICKET FENCE WITH RING LOCK FENCING BEHIND THE TOP COURSE OF ALL RETAINING WALLS EXCEEDING 900mm HIGH. STAR IRON PICKETS TO HAVE CAPS AND STRAND OF TAPE FIXED TO TOP WIRE AT 2.0m INTERVALS (MIN).
- FENCES AND WALLS FACING ROAD RESERVES OR PUBLIC OPEN SPACE TO BE TREATED WITH SACRIFICIAL ANTI-GRAFFITI COATING.
- BACK FACE OF WALL TO BE POINTED UP WHERE FILL DOES NOT COVER.
- MORTAR TESTS AT RATE OF 1 PER 50 LINEAR METRES OF WALLS.
- ALL WALLS SHALL BE SET ON BOUNDARY OF LOT BEING RETAINED AND SHALL BE CONFIRMED BY SURVEYOR ON COMPLETION OF FIRST ROW OF COURSE. THE SURVEY INFORMATION SHALL BE ISSUED TO THE SUPERINTENDENT FOR REVIEW PRIOR TO ANY FURTHER CONSTRUCTION CONTINUING/COMMENCING.
- CONTRACTOR TO OBTAIN BUILDING LICENCE.
- FOR RETAINING WALL STANDARD DETAILS REFER DRAWING 15029-C7-TD-301 AND 302.
- ALL BLOCKS TO BE RECONSTITUTED LIMESTONE UNLESS SHOWN OTHERWISE.
- AS-CONSTRUCTED INFORMATION SHALL BE RECORDED AS THE WORK IS CARRIED OUT AND TIED TO CADASTRAL BOUNDARIES BY A QUALIFIED SURVEYOR. SUBMIT ALL DETAILS TO SUPERINTENDENT.

LEGEND

- LIMITS OF WORKS BOUNDARY
- PROPOSED RETAINING WALL
- PROPOSED PANEL AND POST RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED FINISHED PAD LEVEL
- PROPOSED GROUND LEVEL AT LOT BOUNDARY
- FACE OF WALL AND TYPE - REFER STANDARD RETAINING WALL DRAWING FOR DETAILS
- TOP OF RETAINING WALL LEVEL
EFFECTIVE HEIGHT
TOTAL HEIGHT
- BASE OF FOOTING LEVEL
TOP OF SCREEN WALL LEVEL
- PROPOSED GARAGE LOCATION
- DESIGN LEVEL
- EXISTING LEVEL
- TAPER END OF RETAINING WALL AS PER DETAIL ON DRAWING 15029-C7-TD-301



TYPICAL RETAINING DROP FOOTING DETAIL - FOR SERVICES INSTALLATION
REFER TO ELECTRICAL DRAWINGS FOR FOOTING LOCATIONS, LENGTHS AND DETAILS

SCALE 1:500 0m 10m 20m



The Essential First Step.



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DRAWING STATUS			
FOR CONSTRUCTION			
DATE	PRG	DATUM	AHD
MAY 2021	PCG94		
DESIGNED JS	DRAWN JS	CHECKED MRI	APPROVED MRI
W.A.P.C.	SCALE 1:500	SHEET SIZE	DRG No.
159641	1:500 @	A1	

CLIENT	PROJECT	TITLE	REVISION
PARCEL PROPERTY - MOSAIC	LOT 30 & 109 GRINDLEFORD DRIVE	RETAINING WALL PLAN	
		15029-C1-RW-301	6

REV	DATE	DESCRIPTION	BY	CHKR	REV	DATE	DESCRIPTION	BY	CHKR
5	2/08/22	RETAINING WALLS NUMBERED	DL	CC					
4	21/06/22	STAIRS REMOVED, COLORBOND FENCE DETAILS AMENDED	GL	CC					
3	14/06/22	COLORBOND FENCE EXTENDED TO END OF LOT BOUNDARY	DL	CC					
2	08/06/22	REVISED IN-LINE WITH ENGINEERING APPROVAL	DL	CC					
1	22/04/22	RE-ISSUED FOR APPROVAL	JS	CC					
0	23/11/21	ISSUED FOR TENDER	DL	MRi	6	09/11/22	POS TO LOT PRECAL AMENDED & WALL REVISED TO SUIT	JS	CC