

### ARISE PRECINCT

CURRENT AT 18 MARCH 2024

Lot/Address	Size (m2)	Frontage	Depth	Titles Due	Bal	Status	Lot Price	R Code
Lot 119 Arise Street	262m <sup>2</sup>	8.5m	30.9m	TITLED	LOW	Available	\$420,000	R40



VISIT OUR  
**BUILDER  
PORTAL**  
FOR LOT PLANS  
+ OTHER INFO



**SITE CLASS  
& FOOTINGS\***  
ARISE: EXPECTED S-CLASS / UP TO SJ20  
CENTRO: EXPECTED A-CLASS / UP TO B1



Colerbond  
**FENCING  
+ FRONT**  
LANDSCAPING  
PACKAGE



**LAND  
DEPOSITS**  
ARISE: \$10,000  
CENTRO: \$5,000



**nbn™  
ready**

**\*Soil class indicative and subject to individual assessment**



Roselea Village  
Shopping Centre  
now open



**5mins**  
to Karrinyup  
Shops



Existing open  
space and  
playing fields



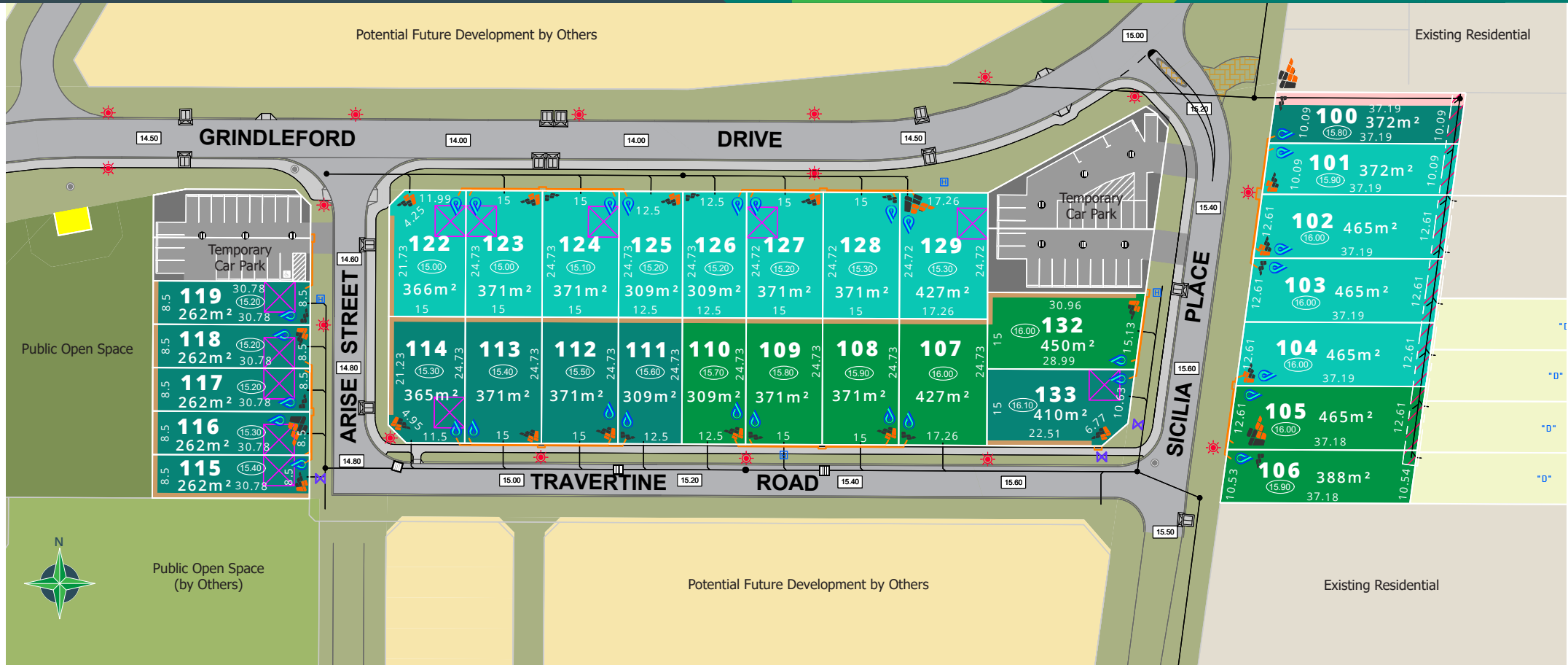
**13mins**  
to Perth CBD

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[mosaicbalcatta.com.au](https://mosaicbalcatta.com.au)

\*DISCLAIMER - Site Class: The rating on class/footings in this Price List applies only if the Buyer is building a single-storey full masonry residential construction, based on AS2870 (2011), and gets their site classification report from Struterre Consulting Engineers. If the Buyer is constructing a different type of residence or uses a different consulting engineer for the report, the Seller is not responsible for the information. General: While we aim for information accuracy, it is not guaranteed by the selling agent. Prospective buyers are advised to verify all details and not view this as a contractual commitment. All measurements are subject to survey. Full retail prices are as shown. Promotional prices do not include incentives like land rebates or builder incentives. Rebates are specific to certain lots and are paid at settlement. Sales Agent: Parcel Realty Pty Ltd (ABN 66 153 825 542). Licence number: 64283.

**parcel.**



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|---------------|-----------------|--------------------|----------------|----------------------------|------------------|------------------------------------|-----------------------------|--|
| <b>LEGEND</b> | Release 1       | Temporary Car Park | Road Level     | Designated Garage Location | Water Valve      | NBN Connection                     | Mini Pillar & Connection    | Street Light                               |
|               | Release 2       | Public Open Space  | Lot Levels     | Retaining Wall             | Water Hydrant    | Footpath (Grey)                    | Uni Pillar & Connection     | 2.5m Wide Sewer Easement                   |
|               | Display Village |                    | Side Entry Pit | Drainage Grate / Manhole   | Water Connection | Sewer Housing Connection / Manhole | Western Power Padmount Site | Suggested extent of Implied Sewer Easement |

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\*DISCLAIMER: Whilst every care has been taken with the preparation of these particulars, which are believed to be correct, they are in no way warranted by the selling agent or its clients in whole or in part and should not be construed as forming part of any contract. The particulars of this plan are supplied for identification purposes only and shall not be taken as a representation in any aspect on the part of the vendor or its agents. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls, services and associated easements are shown exaggerated for legibility. Trees are indicative only. Any intending purchasers are advised to make necessary enquiries to satisfy themselves on all matters in this respect. Sales Agent: Parcel Realty Pty Ltd (ABN 66 153 825 542). Licence number: 64283.

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